

**Daly City Planning Commission Agenda Report**  
 333 - 90th Street • Daly City • California • 94015 • 650-991-8033

**Meeting Date:** January 7, 2014  
**Application:** Variance VARC-5-13-7250, Design Review DR-5-13-7151  
**Project Planner:** Jeannie Naughton, Associate Planner  
**Project Location:** 1575 Annie Street  
**Project Description:** Front Yard Setback Variance for Minor Expansion to Existing Synagogue  
**Applicant:** Andy Tan, 1053 Crestview Drive, Millbrae, CA 94030  
**Property Owner:** Karate Jews of America, 1575 Annie Street, Daly City, CA 94015  
**Environmental Assessment:** Categorical Exempt per CEQA Guidelines Section 15301(e)(1) - Additions to existing structures that will not result in an increase of more than 2,500 square feet  
**Applicable City Code Sections:** Chapter 17.46 Variances, Chapter 17.45 Design Review

**Planning Commission Report Subject: Setback Variance for Minor Synagogue Expansion VARC-5-13-7250, DR-5-13-7151 Meeting Date: January 7, 2014** Page 2 of 7

**Site Information**

Property Size	Existing Use	Proposed Use	General Plan Designation	Current Zoning
12,600 SF	Synagogue	Synagogue	C-MU Commercial Mixed Use	C-R/R Residential Retail Commercial

**Area Information**

Land Use	Zoning
North: Single-Family Residential and Nursery Uses	C-R/R Residential Retail Commercial
South: Professional Offices and Single-Family Residential	C-R/R Residential Retail Commercial
West: Single-Family Residential and storage yards	C-R/R Residential Retail Commercial
East: Single-Family Residential	C-R/R Residential Retail Commercial

**Background**  
 The applicant, Andy Tan, on behalf of Congregation B'Nai Israel is requesting a front setback variance for the new construction of a 970 square foot addition to an existing synagogue at 1575 Annie Street. The proposed addition would maintain a 5 foot front yard setback and will accommodate additional space for general events, such as educational guest speakers, film screenings, and community events.

The site is zoned C-R/R Residential Retail Commercial in the Sullivan Corridor Specific Plan area. Development setbacks within this zoning designation require at least 15 feet from adjacent street property lines, 10 feet from side property lines, and 10 feet from rear property lines. Building intensity is limited to Floor Area Ratios (FAR) of 1.0 and building heights of 36 feet.

The proposed 970 square foot addition would encroach into the front setback by 10 feet, providing a 5 foot setback from the front property line. The applicant explored options to add the small addition to the rear of the property but deemed it infeasible due to the rear yard setback requirements. The zoning requires a 20 foot rear yard setback in the C-R/R designation and the synagogue currently sits 25 feet from the rear property line. Expansion to the south was infeasible, as the zoning requires a 10 foot side yard setback—the existing setback provided on-site, and expansion to the north was infeasible as well, as it would render the site deficient on parking.

The Sullivan Corridor Specific Plan was adopted in 1998, yet a majority of the structures along this block of Annie Street were constructed prior to adoption of that plan. As a result, there are varying setbacks along this block of Annie Street ranging from 0 feet to 15 feet, with a predominant setback less than the 15 feet, as required by the Specific Plan zoning standards.

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Additionally, one block away, at 1595 Edgeworth Avenue is another church with the same C-R/R zoning designation. The existing church maintains a 5 foot front yard setback, and a similar setback in the rear of the site, both of which are nonconforming for this zoning designation. Both 1575 Annie Street (subject site) and 1595 Edgeworth Street are developed in similar ways, with the building at the southern portion of the site and surface parking dominating the northern portion of the site. Although County records do not show when either building was built, it is clear both were developed prior to adoption of the Sullivan Corridor Specific Plan zoning designation of C-R/R.

The Code requires 1 parking space be provided for every 200 square feet of gross floor area for assembly uses, including synagogues, where there is no fixed seating. The existing synagogue is 3,395 square feet and has a parking requirement of 17 spaces. The 970 square foot addition will increase the site parking requirement to 22 parking spaces. The proposed site plan will exceed this requirement and provide 23 parking spaces on-site.

The 970 square foot addition will be one story and will match the existing building in height, colors and materials. There are a few structures that will be required to be removed as they do not meet the current zoning requirements. There is an existing covered area on the south side of the building used mainly for protection from the elements for an outdoor seating area on the south side of the site, as well as a covered patio area on the east side of the site. Both of these covered areas, as well as a large shed at the eastern portion of the site will be removed, in order to bring the site into compliance with zoning setback and building code requirements. A condition of approval has been added requiring these removals.

**Variance**  
 DCMC 17.46 Variances requires the application for a variance to be presented to the Planning Commission for recommendation to the City Council. The City Council may then approve or deny the variance request. DCMC Section 17.46.050 requires that the following findings be made by the Planning Commission:

A. That because of exceptional conditions applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of this title is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under identical zoning district classification.

Front yard setbacks on the subject block vary, and several encroach into the required 15 foot front yard setback. Additionally, one block away at 1595 Edgeworth Avenue, a site developed as a church maintains a nonconforming 5 foot front yard setback and has the same zoning as the subject site. The proposed expansion to the existing synagogue will result in a 5 foot front yard setback, similar to other properties in the vicinity.

B. That the variance authorized does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and under identical zoning district classification.

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Strict application of the front setback regulations would deprive the subject property of the same privileges enjoyed by other properties within the vicinity in the same zoning district. Expansion into the north would render the site deficient in required parking and expansion to the west or south would result in nonconforming rear and side yard setbacks, respectively. Furthermore, many other properties with similar constraints within the vicinity of the project site were developed prior to adoption of the current zoning standards, as was the subject site, and therefore were intended to meet different development standards.

C. That in the coastal zone the variance authorized is consistent with the policies, maps and public access component of the local coastal plan.

The project site is not within the coastal zone.

**Environmental Assessment**  
 Staff has reviewed the proposal under the requirements of the California Environmental Quality Act (CEQA) and has determined the project is Categorical Exempt per CEQA Guidelines Section 15301(e)(1)—Additions to existing structures that will not result in an increase of more than 2,500 square feet.

**Findings**  
 Staff finds that the proposed Variance VARC-5-13-7250 and Design Review DR-5-13-7151 are in accordance with Chapter 17 of the Daly City Municipal Code. Approval of the proposed project will not be detrimental to the health, safety, morals, comfort and general welfare of persons residing or working in the vicinity. The proposed project would not be injurious or detrimental to property and improvements in the neighborhood or result in substantial environmental damage or disturbance. These findings are based in part on the following facts:

- In accordance with Title 17 of the Daly City Municipal Code, as well as applicable State zoning enabling legislation, the Planning Commission will conduct a public hearing on January 7, 2014; notice of said hearing was by posting and first class mailing to property owners within 300 feet of the site, on December 19, 2013, and newspaper publication on December 27, 2013.
- Staff has reviewed the proposal under the requirements of the California Environmental Quality Act (CEQA) and has determined the project is Categorical Exempt per CEQA Guidelines Section 15301(e)(1)—Additions to existing structures that will not result in an increase of more than 2,500 square feet.
- The subject use is consistent with the General Plan and the C-R/R zoning standards, and with the granting of the Variance for the front yard setback, and as conditioned, the physical development of the site will be consistent with said zoning standards.
- The strict application of this title is found to deprive the subject property of privileges enjoyed by other properties in the vicinity, such as 1595 Edgeworth Avenue, a site developed as a church with identical zoning that maintains a nonconforming 5 foot front

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yard setback. Additionally, front yard setbacks on the subject block vary, and several encroach into the required 15 foot front yard setback.

The subject site and other properties within the vicinity with constraints similar to those of the project site were developed prior to adoption of the current zoning regulations. As a result, a Variance is necessary to allow the minor expansion.

The project complies with applicable provisions of Design Review Section 17.45 of the Zoning Ordinance.

General architectural considerations have been incorporated in order to ensure the compatibility of this development with its design concept and the character of other properties in the vicinity. These considerations include, but are not limited to, the character, scale and quality of the design, the architectural relationship with the site and other buildings, building materials, and colors.

General landscape considerations of Chapter 17.41, Landscaping, will be provided to ensure visual relief, to complement buildings and structures and to provide an attractive environment for the enjoyment of the public.

**Conditions of Approval**

Staff recommends the Planning Commission forward a recommendation of approval to the City Council for Variance VARC-5-13-7250 and Design Review DR-5-13-7151, subject to the following conditions and Daly City General Conditions of Approval. Minor deviations from the conditions of approval may be approved by the Planning Division. Significant deviations will require review and approval by the Planning Commission and City Council.

A. ECONOMIC AND COMMUNITY DEVELOPMENT DEPARTMENT

**General**

- The applicant shall file a Declaration of Acceptance of the conditions of approval with the City Clerk within thirty (30) days of City Council approval. Until said declaration is filed, the Variance shall not be valid for any purpose.
- The project shall be valid only in conjunction with detailed plans submitted with this project. Any modifications required, due to the Conditions of Approval, and minor changes to the plan, must be reviewed and approved by the Planning Division prior to the change. Major modifications to the plans shall be treated as an amendment and shall be subject to review by the Planning Commission and City Council.
- Prior to final inspection of the building permit for the minor expansion, the covered patio structures on the south and east sides of the building and the storage shed on the east side of the building, shall all be removed or renovated.
- If building permits are not issued and construction diligently pursued within one year of approval of the Variance, the Variance shall become invalid.

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B. BUILDING DIVISION

- Accessibility upgrade will be required for existing restrooms.
- Proposed entrance door to the extension may be encroaching into a required accessible landing and path of travel to the public way. Doors in any position shall not reduce the required width of the landing or path of travel. (Refer to CBC 1007, 1127B.5, 1133B.2.4, 1133B.5.4).
- The second exit door at the south side of the new addition shall be accessible from the door to the public way. (Refer to CBC 1007, 1127B.5, 1133B.2.4, 1133B.5.4).

C. WATER AND WASTEWATER RESOURCES DEPARTMENT

- The applicant shall verify the intent to abandon or reuse the existing sewer lateral. If the intent is to reuse, applicant must video inspect and perform a watertight test that is subject to review by DWW. A DWW representative shall be on site during the testing and televising. If the lateral is not to be used the lateral shall be abandoned per Section 02720, 3.08 of the City of Daly City Standard Specifications and Drawings. The abandonment shall be completed prior to any demolition of the previous building or construction of the new building. All costs associated with the testing, video inspection and abandonment shall be borne by the applicant.
- It is possible and likely that the sewer exits at the front of the building. Approximately 2 feet outside of the foundation is the transition from cast iron piping to clay/vcp piping. Clay piping is not allowed under a structure per the current CUPC. All clay sewer lateral piping shall be replaced with the appropriate piping material until it exits the new addition's foundation. A cleanout shall be installed 18 to 24 inches outside of the building foundation.

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**Recommendation**  
 Staff recommends the Planning Commission forward to the City Council the following recommendations:

- Adopt the Findings as outlined herein;
- Affirm the Environmental Assessment;
- Approve Variance VARC-5-13-7250 and Design Review DR-5-13-7151, as conditioned herein.

Staff is available to provide any additional information desired by the Planning Commissioners.

Respectfully submitted,

Jeannie Naughton, AICP Associate Planner  
 Tatum Mothershead Acting Director of Economic and Community Development

**Attachments**  
 Attachment A - Location Map  
 Attachment B - Plans

**RESOLUTION NO. 15-14**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF DALY CITY APPROVING EXTENSION OF VARIANCE VARC-5-13-7250 AND DESIGN REVIEW DR-5-13-7151 FRONT YARD SETBACK VARIANCE FOR MINOR EXPANSION OF EXISTING SYNAGOGUE (1575 Annie Street)

A. On January 27, 2014, the City Council approved a request by Andy Tan, on behalf of Congregation B'Nai Israel, for a front setback Variance for the new construction of a 970 square foot addition to an existing synagogue at 1575 Annie Street.

B. The Conditions of Approval required that building permits be issued and construction diligently pursued within one year of approval of the use permit approval, otherwise the use permit would become invalid. Because this has not occurred, the applicant is requesting a two-year time-extension of the use permit approval. The applicant has cited additional time needed to develop a comprehensive program for the building and fundraising as reasons for the construction delay.

C. The Planning Division has worked with applicant to address the Conditions of Approval, which would remain unchanged; staff recommends approval of the Time Extension to January 27, 2017.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the Daly City that it does hereby approve the Time Extension to January 27, 2017 of Variance VARC-5-13-7250 and Design Review DR-5-13-7151 for Minor Expansion to Existing Synagogue at 1575 Annie Street.

I hereby certify the foregoing to be a true copy of a Resolution adopted by the City Council of Daly City, California, at a regular meeting thereof held on the 9<sup>th</sup> day of February, 2015, by the following vote of the members thereof:

AYES, and in favor thereof, Councilmembers: Cenena, Christensen, Guingona, Torres, Buena Ventura  
 NOES, Councilmembers: None  
 ABSENT, Councilmembers: None

APPROVED: R. Annette Johnson CITY CLERK OF THE CITY OF DALY CITY

APPROVED: RAYMOND A. BUENAVENTURA MAYOR OF THE CITY OF DALY CITY

**DIRECTORY:**

- Owner:** KARATE JEWS OF AMERICA  
 1575 Annie Street  
 Daly City, CA 94015-1918  
 415.999.4435  
 davidovadia62@gmail.com
- Architect:** MARTIN BERNSTEIN ARCHITECT  
 POB 1739  
 Palo Alto, CA 94302  
 650.387.1000  
 martinbernstein@yahoo.com  
 www.martinbernsteinarchitect.com
- Civil Engineer:** ROBERT W. STEUER, CE  
 1133 Fairview Avenue  
 San Jose, CA 95125  
 408.981.5844  
 rwsteuer@aol.com
- Electrical Consultant:** ENCON  
 801 East Charleston Road, Suite A  
 Palo Alto, CA 94303  
 650.433.4900  
 info@encon.com
- Mechanical Consultant:** ENCON  
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 Palo Alto, CA 94303  
 650.433.4900  
 info@encon.com
- Energy Consultant:** ENERGYSOFT  
 1025 5th Street, Suite A  
 Novato, CA 94945-2413  
 415.897.6400  
 tyler@energysoft.com

**PROJECT DESCRIPTION:**  
 One-Story Building Addition, New Accessible Toilet Room, Kitchen Relocation.

**SITE DATA:**  
 Address: 1575 Annie Street, Daly City, CA 94015-1918  
 Assessor's Parcel Number: 006-343-150  
 Zone District: C-R/Retail  
 Occupancy Group: A-3  
 Construction Type: V-B  
 Lot Size: 125 ft. x 120 ft.  
 Lot Area: 15,000 SF  
 Allowable Building Height: 36 ft.  
 Allowable Floor Area Ratio: 1.0  
 Yard Setbacks: 15' Front, 20' Rear, 10' Side, 10' Side

**Floor Areas:**  
 Existing One-Story Building: 3,360 SF  
 New Addition One-Story Building: 970 SF  
 Total Floor Area: 4,330 SF

**APPLICABLE CODES:**  
 City of Daly City Municipal Code  
 California Building Code 2013 Edition  
 California Mechanical Code 2013 Edition  
 California Plumbing Code 2013 Edition  
 California Fire Code 2013 Edition  
 California Electrical Code 2013 Edition  
 California Energy Standards 2013 Edition  
 Green Building Standards Code 2013 Edition

**PARKING ANALYSIS:**

**REQUIRED NUMBER OF PARKING SPACES:**  
 Existing Building: 3,360 SF  
 New Building Addition: 970 SF

Total Building Area: 4,330 SF

Required number of parking spaces:  
 4,330 SF / 200 SF/parking space = 22 parking spaces.  
 (21 standard parking spaces plus 1 accessible parking space)

**OCCUPANCY ANALYSIS:**

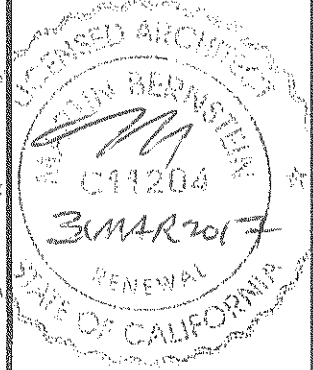
ROOM:	AREA:	OCCUPANCY:
Social Hall	970 SF	970 SF/ 15 SF/person = 65 persons
Sanctuary	1,776 SF	1,776 SF/ 15 SF/person = 118 persons
Kitchen	55 SF NET	55 SF NET/ 7 SF/person = 8 persons
Shoe Room	174 SF	174 SF/ 7 SF/person = 25 persons

- INDEX:**  
 Sheet Description:  
 A 1.0 Site Data  
 A 2.0 General Notes, Window and Door Schedule, Finish Schedule  
 T 24.1 Title 24 Exterior Compliance Forms  
 A 3.0 Site Plan  
 A 4.0 Demolition Plan  
 A 5.0 Floor Plan  
 A 5.1 Plumbing Plan, Plumbing Fixture and Appliance Schedule  
 A 6.0 Exterior Elevations, Sections, Interior Elevations  
 A 6.1 Exterior Elevations, Sections, Interior Elevations  
 A 7.0 Details  
 A 7.1 Details  
 S 1.0 Structural Specifications  
 S 1.1 Seismic and Wind Design Parameters  
 S 1.2 Design Gravity Loads  
 S 2.0 Foundation Plan  
 S 2.1 Roof Framing Plan  
 S 2.2 Awning Roof Framing Plan  
 S 3.0 Structural Sections  
 S 4.0 Foundation Details  
 S 4.1 Foundation Details  
 S 5.0 Framing Details  
 S 5.1 Framing Details  
 S 5.1 Framing Details  
 M 0.1 Mechanical Legend, Schedules  
 M 0.2 Mechanical Specifications  
 M 2.1 Mechanical Plans  
 E 0.1 Electrical Legend, Specifications  
 E 1.0 Single Line Diagram, Site Plan  
 E 2.0 Floor Plan - Power and Signal  
 E 2.1 Lighting Plan  
 E 2.2 Electrical Plan, Fixture Schedule  
 E 4.1 Title 24 Interior Compliance Forms  
 E 4.2 Title 24 Interior Compliance Forms

Structural Calculations: Separate Document  
 Title 21 Energy Documentation: Separate Document

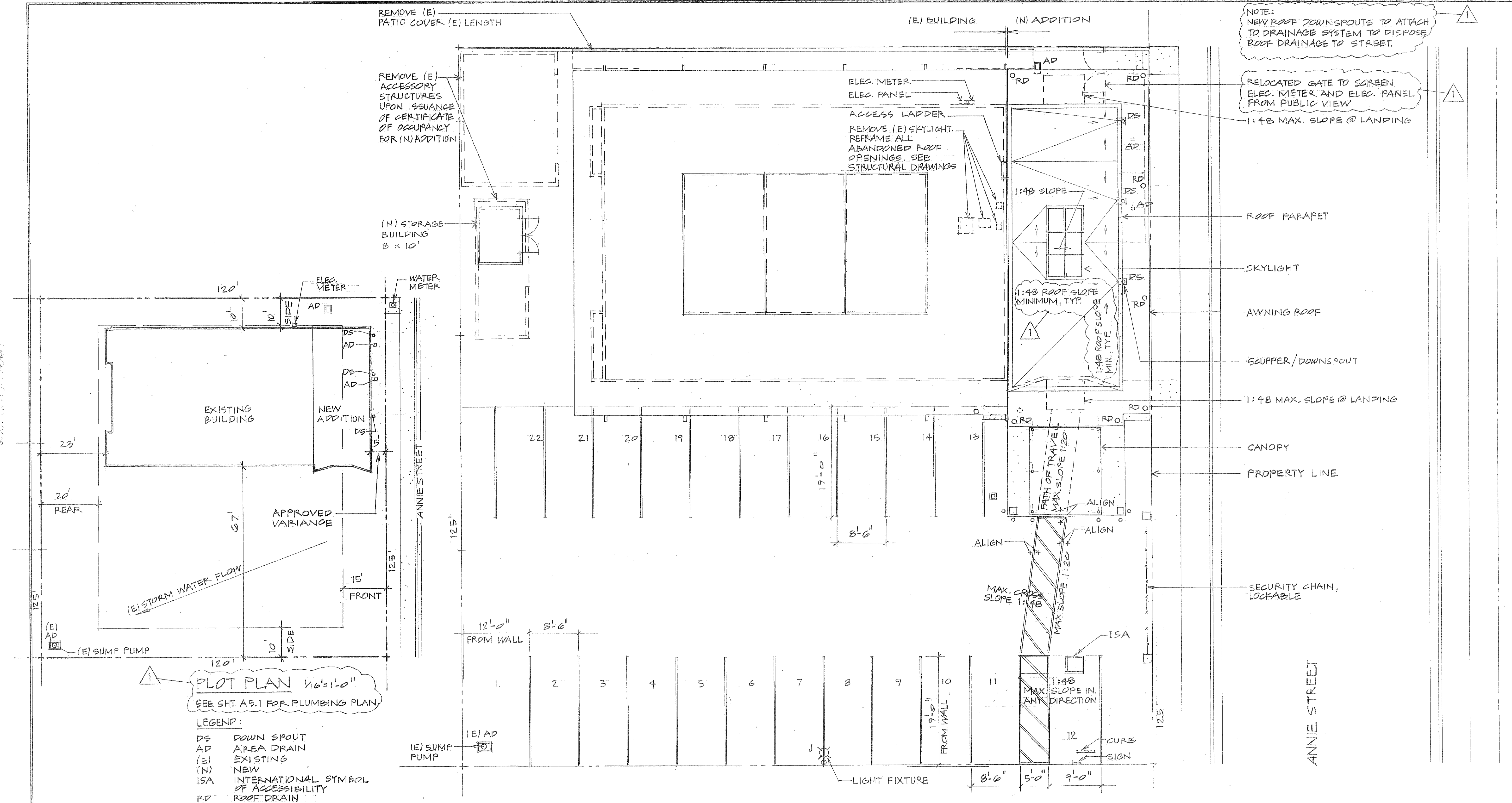
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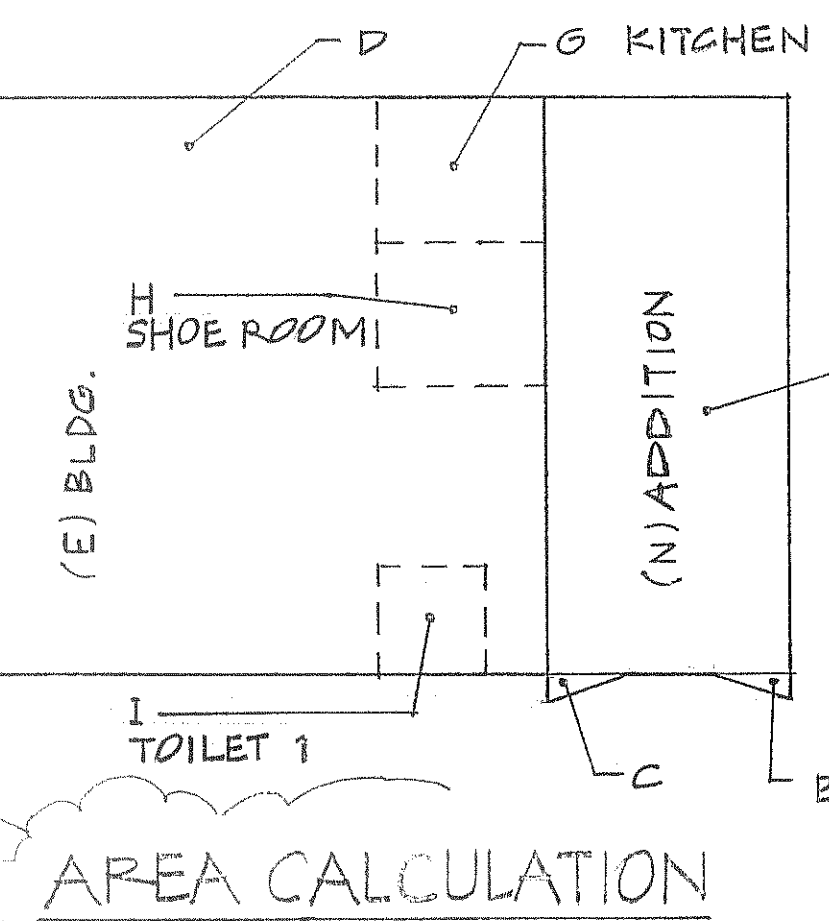
CONGREGATION B'NAI ISRAEL  
 1575 ANNIE STREET, DALY CITY, CA 94015-1918, APN 006-343-150

Date: 20 JUN 2016  
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 Of: 9 Sheets



**PLOT PLAN** 1/16" = 1'-0"  
SEE SH. A5.1 FOR PLUMBING PLAN

- LEGEND:**
- DS DOWN SPOUT
  - AD AREA DRAIN
  - (E) EXISTING
  - (N) NEW
  - ISA INTERNATIONAL SYMBOL OF ACCESSIBILITY
  - RD ROOF DRAIN
  - RWL RAIN WATER LEADER

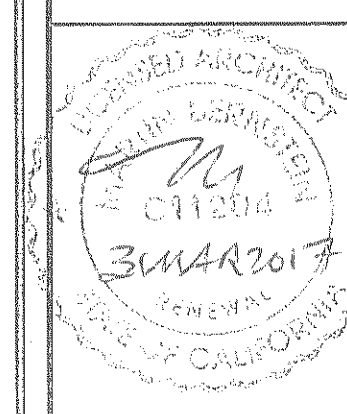


**AREA:**

A	19'-11" x 43'-0"	= 957.0 SF
B	6'-6" x 2'-0" / 2	= 6.5 SF
C	6'-6" x 2'-0" / 2	= 6.5 SF
		SUBTOTAL NEW ADDITION = 970 SF
D	70'-0" x 43'-0"	= 3,060 SF
		SUBTOTAL EXIST. BLDG. = 3,360. SF
		TOTAL BUILDING AREA = 4,330. SF
G	14'-6" x 12'-0"	= 174.0 SF
H	14'-6" x 12'-0"	= 174.0 SF
I	8'-2" x 8'-5"	= 68.6 SF

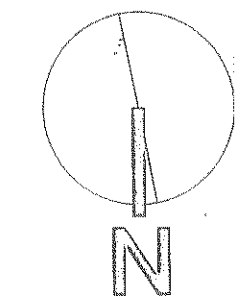
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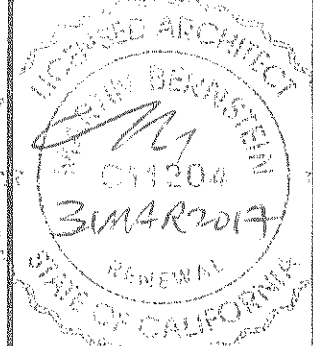
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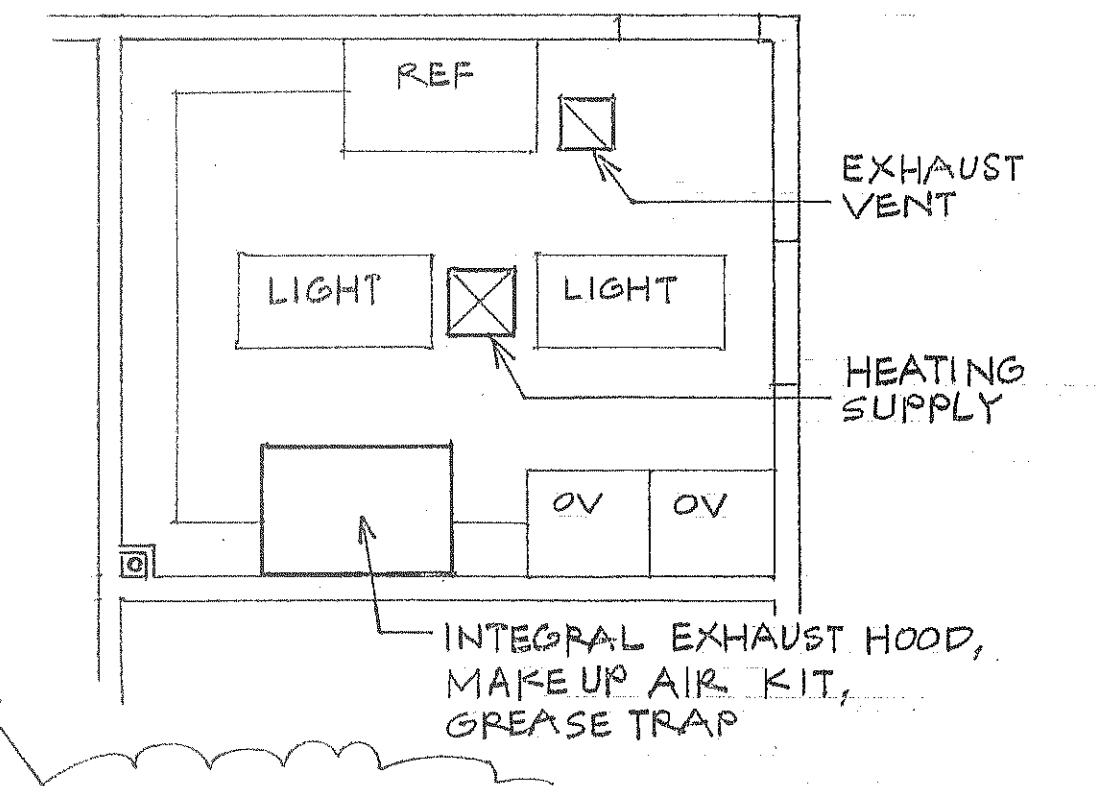
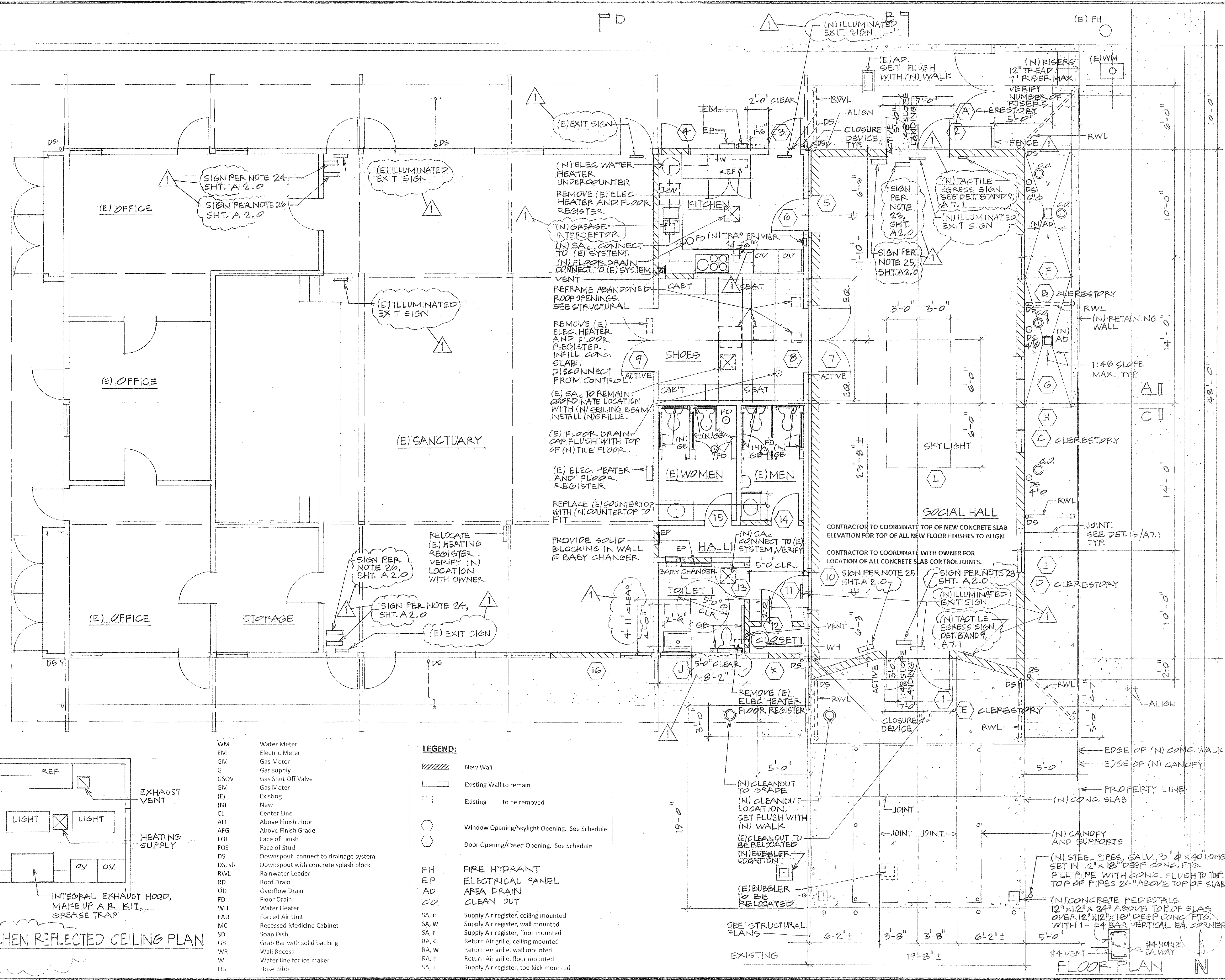
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WM	Water Meter		
EM	Electric Meter		
GM	Gas Meter		
G	Gas supply		
GSOV	Gas Shut Off Valve		
GM	Gas Meter		
(E)	Existing		
(N)	New		
CL	Center Line		
AF	Above Finish Floor		
AFG	Above Finish Grade		
FOF	Face of Finish		
FOS	Face of Stud		
DS	Downspout, connect to drainage system		
DS, sb	Downspout with concrete splash block		
RWL	Rainwater Leader		
RD	Roof Drain		
OD	Overflow Drain		
FD	Floor Drain		
WH	Water Heater		
FAU	Forced Air Unit		
MC	Recessed Medicine Cabinet		
SD	Soap Dish		
GB	Grab Bar with solid backing		
WR	Wall Recess		
W	Water line for ice maker		
HB	Hose Bibb		

<b>LEGEND:</b>	
	New Wall
	Existing Wall to remain
	Existing to be removed
	Window Opening/Skylight Opening. See Schedule.
	Door Opening/Cased Opening. See Schedule.

<b>FH</b>	FIRE HYDRANT
<b>EP</b>	ELECTRICAL PANEL
<b>AD</b>	AREA DRAIN
<b>CO</b>	CLEAN OUT
<b>SA, C</b>	Supply Air register, ceiling mounted
<b>SA, W</b>	Supply Air register, wall mounted
<b>SA, F</b>	Supply Air register, floor mounted
<b>RA, C</b>	Return Air grille, ceiling mounted
<b>RA, W</b>	Return Air grille, wall mounted
<b>RA, F</b>	Return Air grille, floor mounted
<b>SA, T</b>	Supply Air register, toe-kick mounted

**KITCHEN REFLECTED CEILING PLAN**

**FLOOR PLAN**

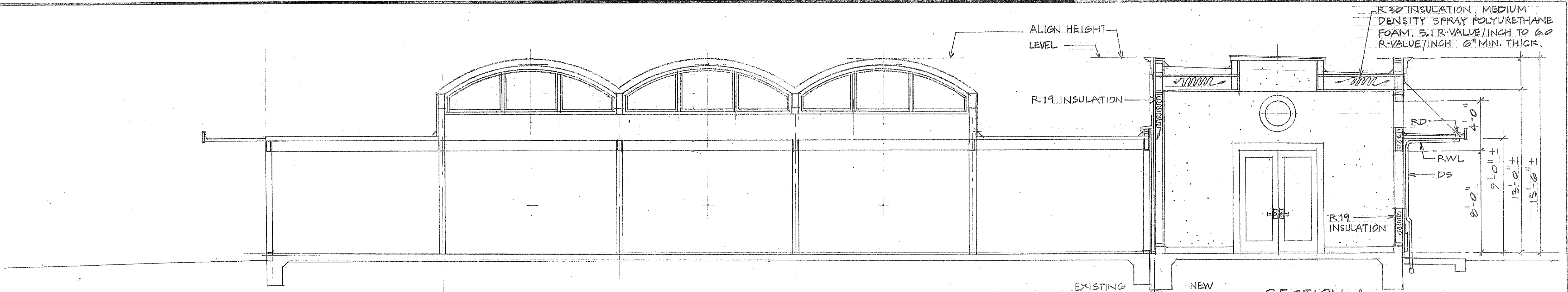
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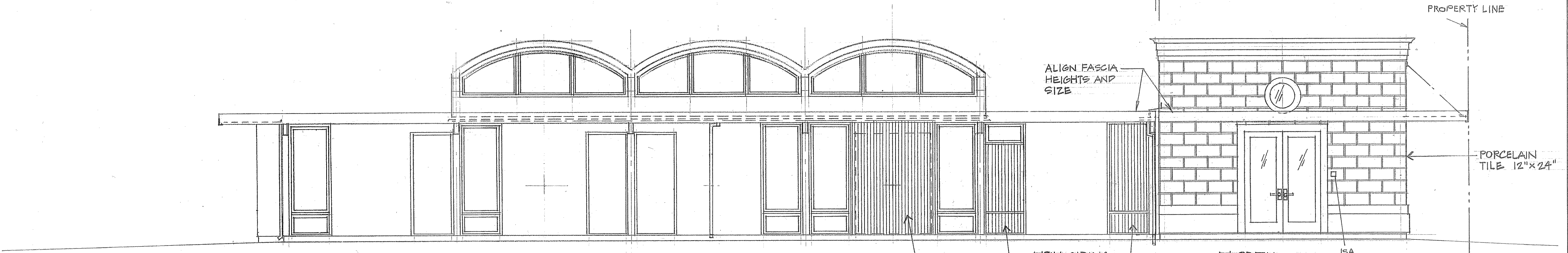


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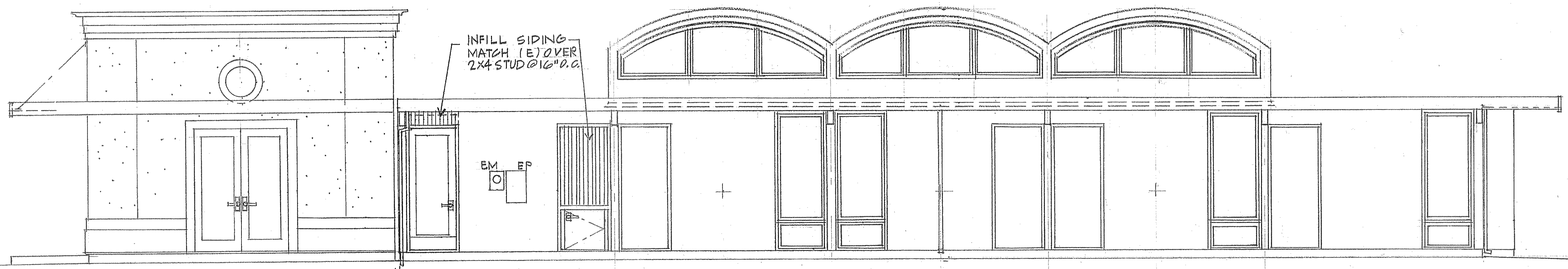
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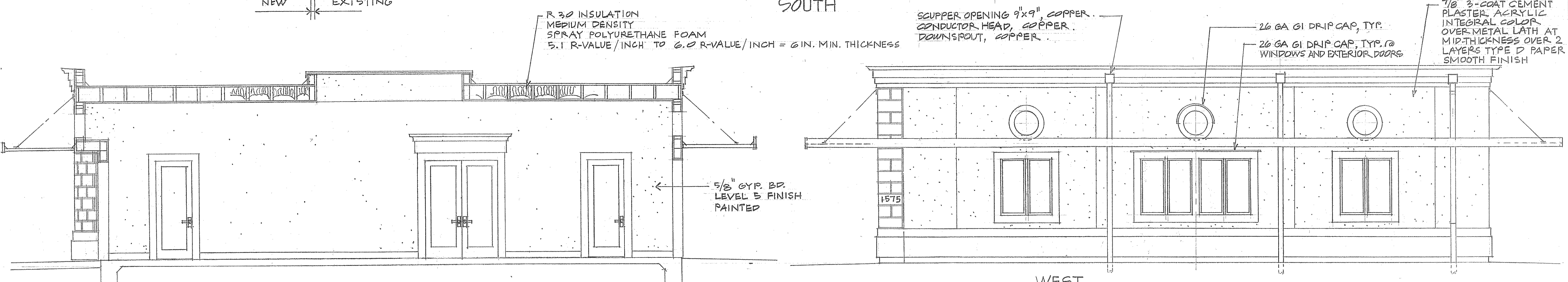
SECTION A



NORTH



SOUTH



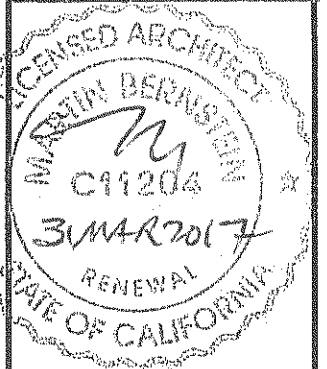
SECTION B

WEST

Callout notes, north arrow, show location of window, etc.

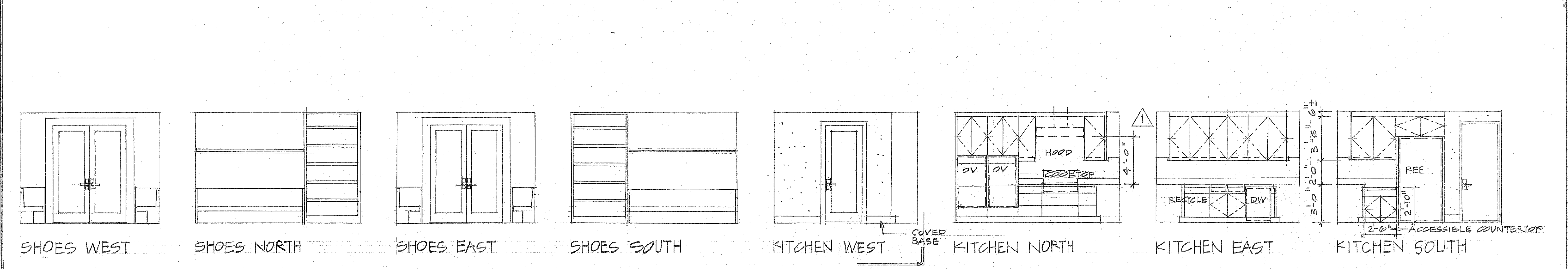
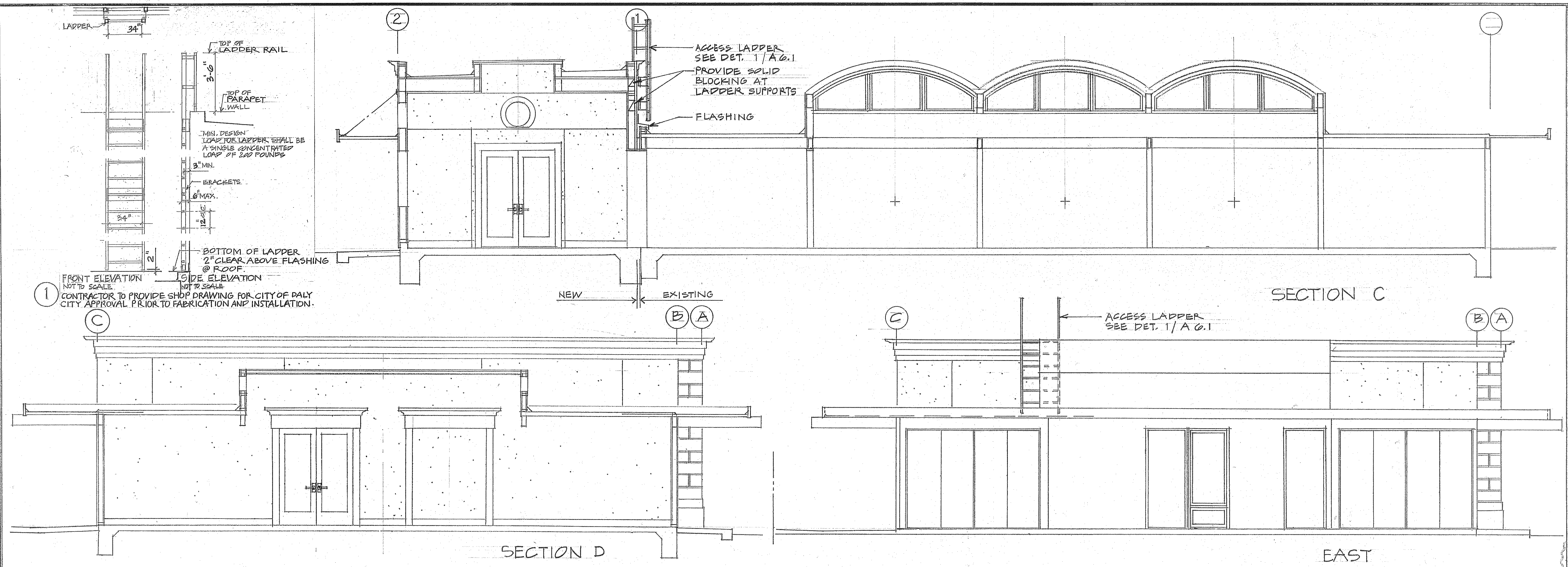
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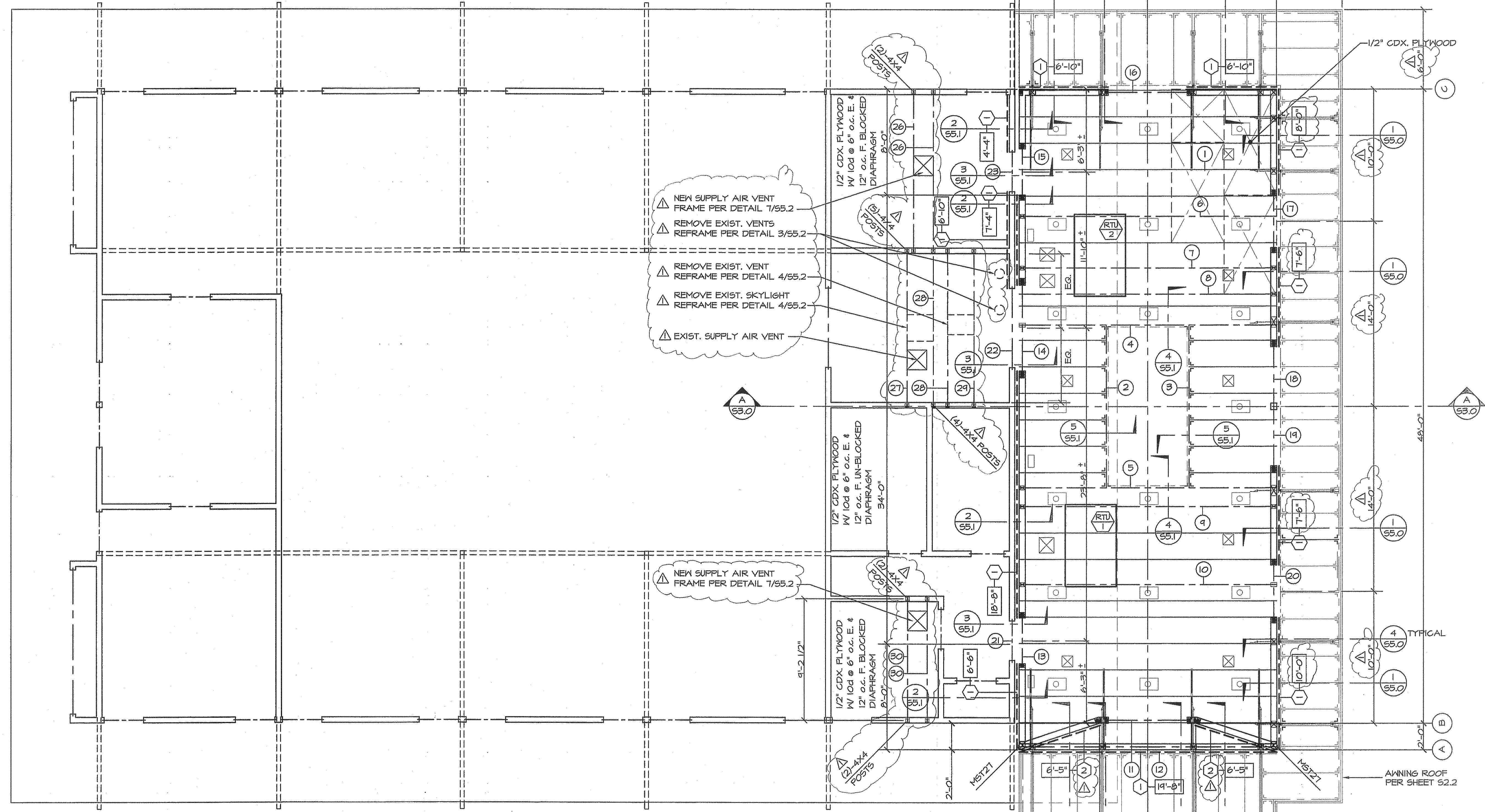
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 Sheet A6.1  
 Of Sheets



DO NOT PRINT OUT OF FILE

- NOTE:
- 2-2X6 DOUBLE TOP PLATE SHALL BE CONTINUOUS @ GRID LINE A AND C
  - 2-2X6 DOUBLE TOP PLATE JOINT SPACING AT GRID LINE 1 AND 2 SHALL BE 16'-0" o.c. MAX. PER DETAIL 6/55.2
  - CONTRACTOR SHALL COORDINATE WITH ENGINEER OF RECORD PENDING EXISTING CONDITIONS PRIOR TO CONSTRUCTION OF SHEAR WALLS AT EXISTING BUILDING GRID LINE 1.
  - SEE DETAIL 1/55.2 FOR PARAPET WIND HOLDOWN SPECIFICATIONS.
  - SEE DETAIL 2/55.2 FOR ROOF RAFTER WIND HOLDOWN SPECIFICATIONS.

PROVIDE MINIMUM 4" CLEAR DIMENSION BETWEEN EXISTING AND NEW BUILDING



LEGEND

- 6'-0" SHEAR WALL PER SHEAR WALL SCHEDULE W/ SHEAR WALL LENGTH
- STRUCTURAL MEMBER NUMBER PER STRUCTURAL CALCULATIONS AND STRUCTURAL MEMBER SCHEDULE
- CEILING BEAM WITH POST SUPPORT
- BEAM SUPPORTING POST ABOVE
- DETAIL

- SECTION
- WALL LINE NUMBER PER STRUCTURAL CALCULATIONS
- E. EXISTING
- N. NEW
- T.S. TRIMMER STUD
- K.S. KING STUD

- LIGHT FIXTURE
- DUCT

NOTE:

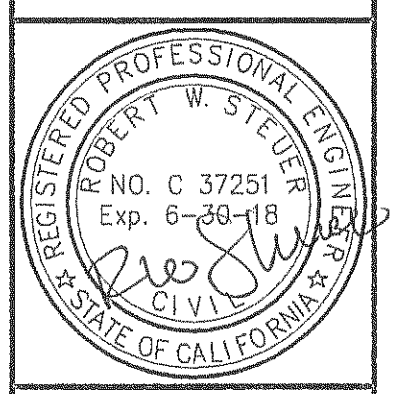
- SEE DETAIL 1/MO.1 FOR RTU ANCHORAGE SPECIFICATIONS
- TOP PLATES SHALL BE (2)-2X6 WITH LAP SPECIFICATIONS AS FOLLOWS:

GRID LINE	LAP	NAILING
1	68"	(2)-ROWS 10d @ 4" o.c. (34 MIN. NAILS)
2	68"	(2)-ROWS 10d @ 4" o.c. (34 MIN. NAILS)
3	24"	(1)-ROW 10d @ 4" o.c. (6 MIN. NAILS)
4	24"	(1)-ROW 10d @ 4" o.c. (6 MIN. NAILS)

ROOF FRAMING PLAN  
SCALE - 1/4" = 1'-0" NORTH

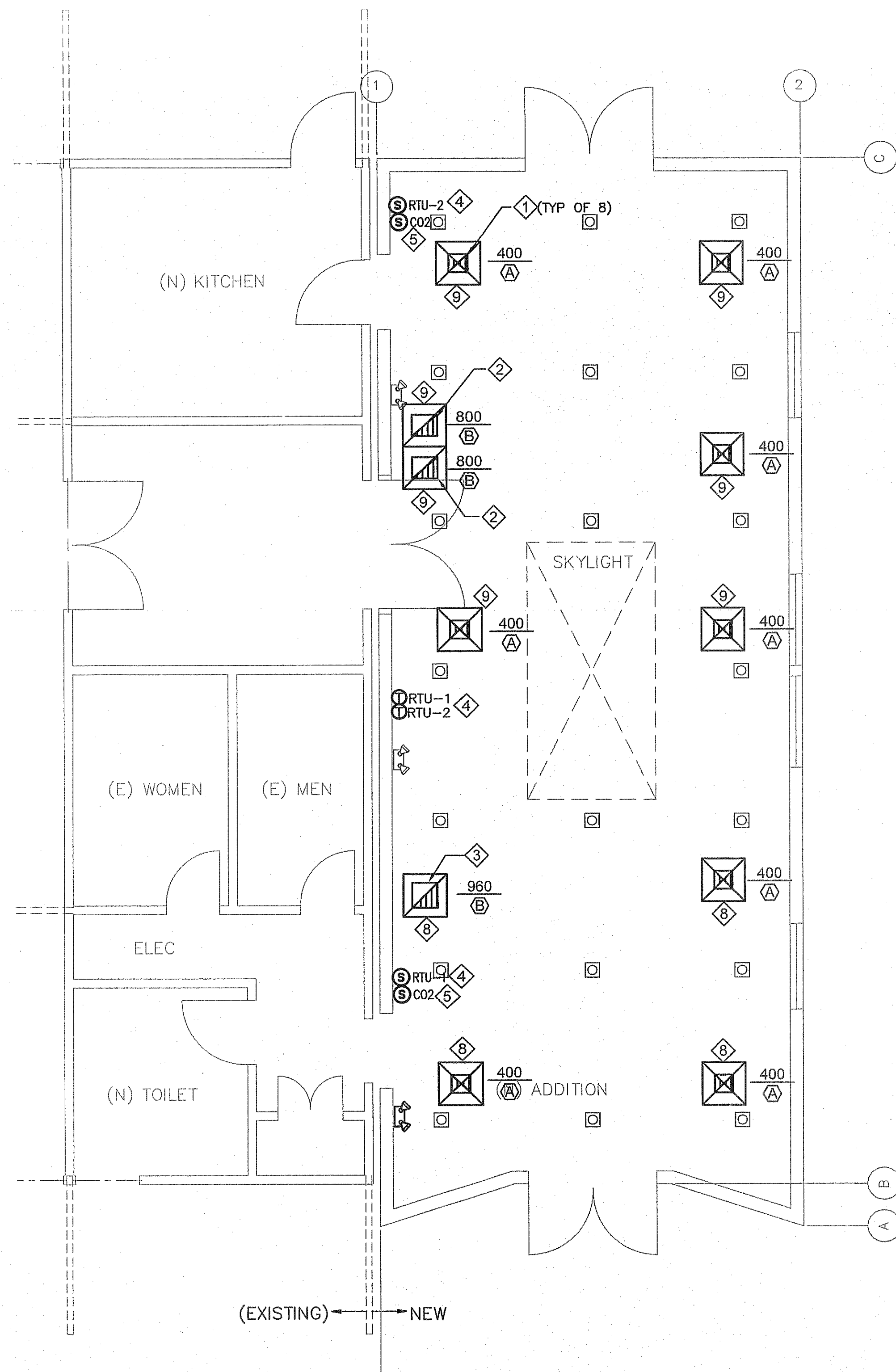
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7-21-16 PLAN CHECK NO. 1	△

ROBERT W. STEUER - CIVIL ENGINEER  
R.C.E. 37251  
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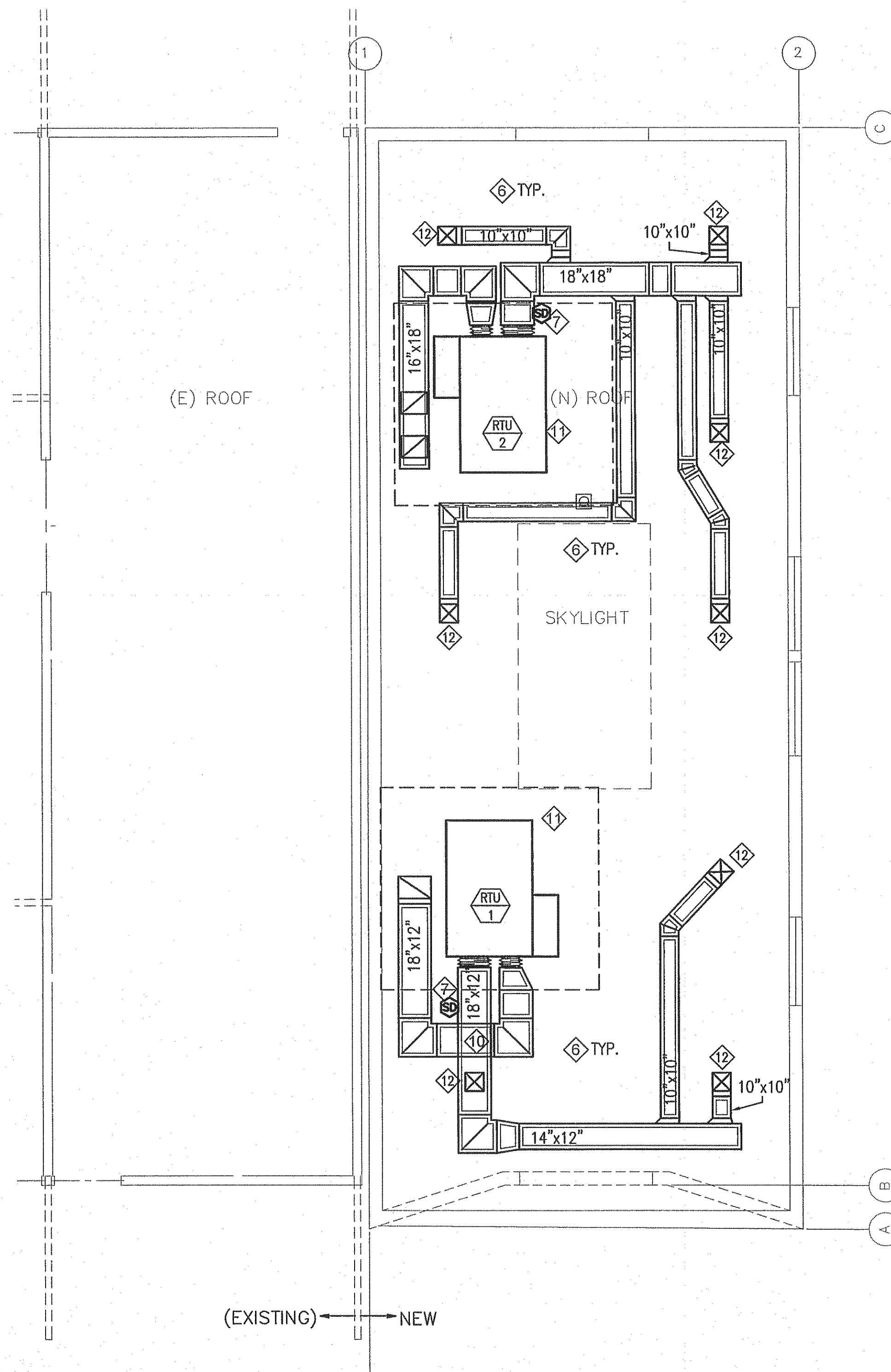


CONGREGATION BINA ISRAEL  
1575 ANNIE STREET, DALY CITY, CA 94015-1918, APN 006-343-150

DATE: 5-12-16  
SCALE: 1/4" = 1'-0"  
DRAWN: RS  
JOB: 33-15  
SHEET S2.1  
OF SHEETS



**1 MECHANICAL PLAN**  
M2.1 SCALE: 1/4" = 1'-0"



**2 MECHANICAL ROOF PLAN**  
M2.1 SCALE: 1/4" = 1'-0"

**GENERAL NOTES:**

1. ALL WORK SHALL BE IN STRICT ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.
2. PROVIDE TRANSITIONS AT EQUIPMENT AND AIR DEVICES TO MATCH CONNECTION SIZES.
3. DUCT AT EXTERIOR LOCATIONS SHALL BE PROTECTED ON THE EXTERIOR BY PAINT OR OTHER SUITABLE WEATHER-PROTECTIVE COATING OR BE CONSTRUCTED OF STAINLESS STEEL. WATER-PROOFING OF ALL PENETRATIONS SHALL BE COMPLETED BY LANDLORD'S ROOFING CONTRACTOR.
4. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL CONDENSATE DRAIN PIPING AND GAS PIPING ALL HVAC EQUIPMENT ON THE ROOF.
5. CONTRACTOR SHALL LOCATE ALL EXHAUST AND VENT TERMINATIONS ON ROOF AT MINIMUM 10 FEET HORIZONTALLY OR 3' ABOVE FROM ANY FRESH AIR INTAKES AND SHALL LOCATE ALL TERMINATIONS AT A MINIMUM DISTANCE FROM ROOF PARAPET AS DICTATED BY LOCAL BUILDING OFFICIALS AND LOCAL INSPECTORS. ADJUST LOCATIONS AS REQUIRED AT NO ADDITIONAL COST TO OWNER.
6. INSTALL ALL DUCTWORK AND PIPING TO BEST SUIT FIELD CONDITIONS AND COORDINATE WITH THE INSTALLATION WORK OF OTHER TRADES. THE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED TO DETERMINE THE EXACT LOCATION OF SINGLE LINE DUCTS. CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND CLEARANCES ABOVE CEILING AND SHALL MAKE ADJUSTMENTS TO DUCT SIZES, LAYOUTS, EQUIPMENT LOCATIONS AND OTHERS TO BEST SUIT FIELD CONDITIONS.
7. THIS CONTRACTOR SHALL REFER TO ELECTRICAL CONTRACT DOCUMENTS TO OBTAIN THE INFORMATION OF STARTERS, VOLTAGE, PHASE, INTERLOCKING CONTROLS & MISCELLANEOUS EQUIPMENT SUCH AS RELAYS IN STARTERS, ETC., SO THAT ALL ELECTRICAL EQUIPMENT SHALL FULLY COMPLY WITH ELECTRICAL AND CONTROL REQUIREMENTS.
8. FURNISH AND INSTALL NOISE AND VIBRATION ISOLATION DEVICES ON DUCTWORK AND EQUIPMENT.
9. THE ENGINEER DOES NOT TAKE RESPONSIBILITY FOR THE COMPLETE ACCURACY OF THESE CONDITIONS SHOWN ON THE PLANS. THE CONTRACTOR, THEREFORE, SHALL MAKE ALLOWANCES IN HIS BID TO PROVIDE A COMPLETE AND OPERABLE SYSTEM WITH THE INTENT AS DESCRIBED BY THESE DRAWINGS AND SPECIFICATIONS - MAKING PROVISIONS FOR FIELD ADJUSTMENTS AS REQUIRED. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO START OF WORK OR PRICING.
10. ALL PIPING PENETRATIONS SHOULD BE OVERSIZED 1/2" SO THAT PIPING CAN PASS THROUGH THE WALL WITHOUT CONTACTING THE FRAMING OR GYPSUM BOARD. THE HOLE SHOULD BE CAULKED AIRTIGHT WITH ACOUSTICAL SEALANT.
11. ALL DUCTWORK PENETRATIONS SHOULD BE OVERSIZED BY 1-INCH SO THAT THE DUCTWORK CAN PASS THROUGH THE WALL WITHOUT CONTACTING THE FRAMING OR GYPSUM BOARD. THE HOLE SHOULD BE FILLED WITH MINERAL WOOL AND A BACKER ROD AND CAULKED AIRTIGHT WITH ACOUSTICAL SEALANT SUCH AS USG ACOUSTICAL SEALANT.
12. DUCTWORK, CONDUIT, AND CONDENSATE PIPING TO HAVE FLEXIBLE CONNECTORS TO OPTIMIZE THE EFFICIENCY OF THE SPRING ISOLATORS.
13. CONTRACTOR SHALL COORDINATE AND FIELD VERIFY EXACT LOCATION OF ALL HVAC EQUIPMENTS PRIOR TO INSTALLATION. INSTALL EQUIPMENT PER MFR'S RECOMMENDATION AND PROVIDE REQUIRED CLEARANCES FOR SERVICING. ADJUST DUCTWORK AND PIPING ACCORDINGLY TO BEST SUIT FIELD CONDITIONS.
14. DUCT SIZES WITH LINING SHOWN ARE NET, CLEAR INSIDE DIMENSIONS.
15. ALL SQUARE ELBOW TURNS IN DUCTWORK SHALL HAVE TURNING VANES.
16. FURNISH AND INSTALL NOISE AND VIBRATION ISOLATION DEVICES ON DUCTWORK AND EQUIPMENT.
17. FLEXIBLE DUCT WORK SHALL NOT BE MORE THAN 6 FEET IN LENGTH FOR ANY ONE APPLICATION.

**KEYED SHEET NOTES:**

- ① 10"x10" SUPPLY DUCT UP THRU ROOF WITH DAMPER.
- ② 14"x14" RETURN DUCT UP THRU ROOF WITH DAMPER. CONNECT TO RTU-2  
16"x18" RETURN AIR MAIN ON ROOF.
- ③ 14"x14" RETURN DUCT UP THRU ROOF WITH DAMPER. CONNECT TO RTU-1  
18"x12" RETURN AIR MAIN ON ROOF.
- ④ TEMPERATURE THERMOSTAT/SENSOR TO BE LOCATED AS SHOWN. COORDINATE WITH ARCHITECT FOR FINAL LOCATION.
- ⑤ CO2 SENSOR TO BE LOCATED AS SHOWN. COORDINATE WITH ARCHITECT FOR FINAL LOCATION.
- ⑥ DUCTING ON ROOF TO BE INTERNALLY LINED AND WEATHERPROOF.
- ⑦ SUPPLY DUCT MOUNTED SMOKE DETECTOR.
- ⑧ DIFFUSER FOR RTU-1. SEE CONNECTION ON MECHANICAL ROOF PLAN.
- ⑨ DIFFUSER FOR RTU-2. SEE CONNECTION ON MECHANICAL ROOF PLAN.
- ⑩ 18"x12" RETURN AIR MAIN TO CROSS OVER 18"x12" SUPPLY AIR MAIN.
- ⑪ PROVIDE RTU CLEARANCES AS SHOWN WITH DASHED LINES; 18" SHORT SIDES AND 36" LONG SIDES.
- ⑫ 10"x10" DUCT TO DIFFUSER BELOW. SEE MECHANICAL PLAN FOR CONTINUATION.

REVISIONS	BY
△ PLAN CHECK COMMENTS	

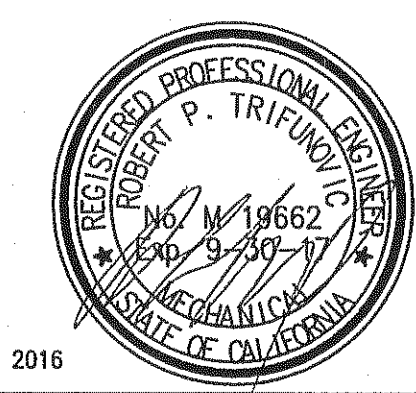
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**MECHANICAL PLANS**

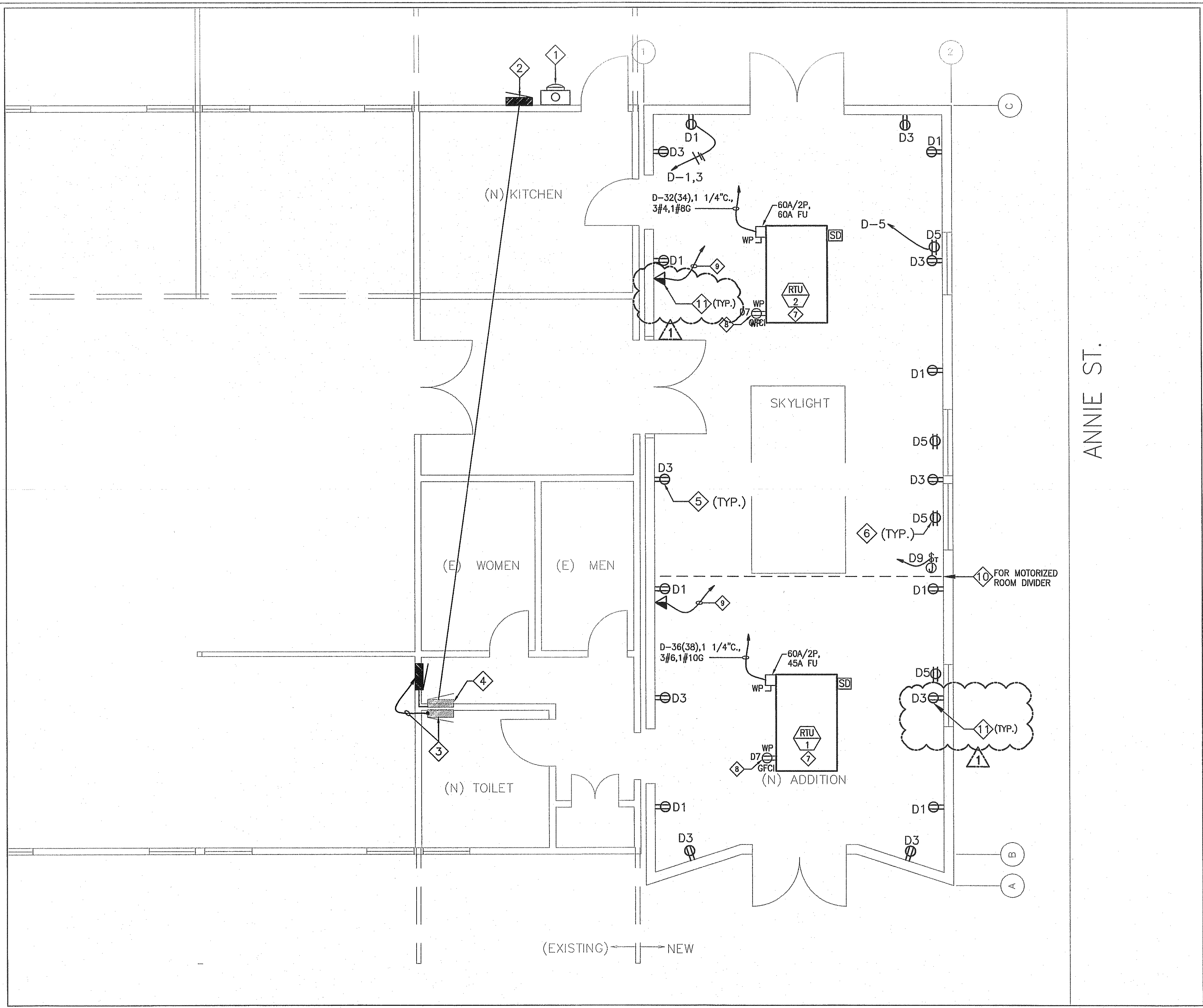
**CONGREGATION B'NAI ISRAEL**  
1575 ANNIE STREET, DALY CITY, CA 94015-1918, APN 006-343-150

DATE:	6/13/16
SCALE:	AS SHOWN
DRAWN:	
JOB:	
SHEET	<b>M2.1</b>
OF SHEETS	



DATE: Aug 18, 2016





ANNIE ST.

1 FLOOR PLAN - POWER AND SIGNAL  
E2.1 SCALE: 1/4" = 1'-0"

SHEET NOTES:

- 1 APPROXIMATE LOCATION OF UPGRATED METER/MAIN ELECTRICAL SERVICE. SEE SINGLE LINE DIAGRAM ON SHEET E1.0 FOR ADDITIONAL INFORMATION.
- 2 APPROXIMATE LOCATION OF NEW DISTRIBUTION PANEL "D". SEE SINGLE LINE DIAGRAM ON SHEET E1.0 FOR ADDITIONAL INFORMATION. COORDINATE FINAL LOCATION WITH ARCHITECT AND THE OWNER IN FIELD.
- 3 APPROXIMATE LOCATION OF EXISTING TO BE RELOCATED WHERE INDICATED PANEL "B". PROVIDE 3' CLEARANCE IN FRONT OF PANEL. DISCONNECT, EXTEND AND RECONNECT ALL EXISTING CIRCUITS TO RELOCATED PANEL. SEE SINGLE LINE DIAGRAM ON SHEET E1.0 FOR ADDITIONAL INFORMATION.
- 4 APPROXIMATE LOCATION OF EXISTING TO BE REPLACED WITH THE NEW PANEL "A". PROVIDE 3' CLEARANCE IN FRONT OF PANEL. DISCONNECT, EXTEND AND RECONNECT ALL EXISTING CIRCUITS TO THE NEW PANEL. SEE SINGLE LINE DIAGRAM AND PANEL SCHEDULE ON SHEET E1.0 FOR ADDITIONAL INFORMATION.
- 5 APPROXIMATE LOCATION OF CONVENIENCE RECEPTACLE OUTLET. COORDINATE FINAL LOCATION WITH ARCHITECT AND THE OWNER IN FIELD.
- 6 APPROXIMATE LOCATION OF DISPLAY SHOW WINDOW RECEPTACLE OUTLET. CENTER OUTLET ABOVE DISPLAY WINDOW. COORDINATE FINAL LOCATION IN FIELD.
- 7 APPROXIMATE LOCATION OF HVAC UNIT UP ON THE ROOF. SEE MECHANICAL DRAWINGS FOR EXACT LOCATION.
- 8 PROVIDE WEATHERPROOF GFCI RECEPTACLE OUTLET PER NEC 210.62.
- 9 RUN MIN. 3/4" CONDUIT TO EXISTING TELEPHONE TERMINAL BOARD. COORDINATE TEL/DATA OUTLET LOCATION WITH THE ARCHITECT AND THE OWNER PRIOR TO INSTALLATION.
- 10 APPROXIMATE LOCATION OF 120V ELECTRICAL POWER FOR CEILING- MOUNTED MOTORIZED ROOM DIVIDER.
- 11 THE LOWEST OPERABLE PART OF ALL ELECTRICAL AND COMMUNICATION RECEPTACLES SHALL BE AT LEAST 15" ABOVE THE FLOOR FOR ACCESSIBILITY PER (CBC 11B-308.1.2).
- 12 ALL ELECTRICAL CONDUCTOR MATERIAL SHALL BE COPPER. ALL OTHER MATERIAL REQUESTS SHALL BE APPROVED BY THE ADMINISTRATIVE AUTHORITY PRIOR TO INSTALLATION (DCMC 15.24.060).

REVISIONS	BY
1 PLAN CHECK COMMENTS	

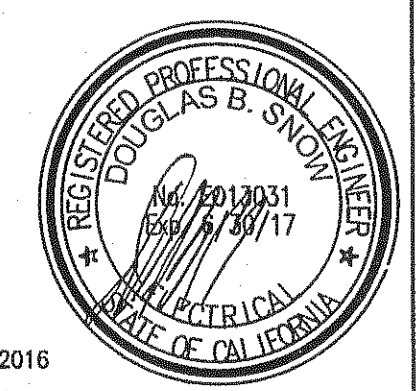
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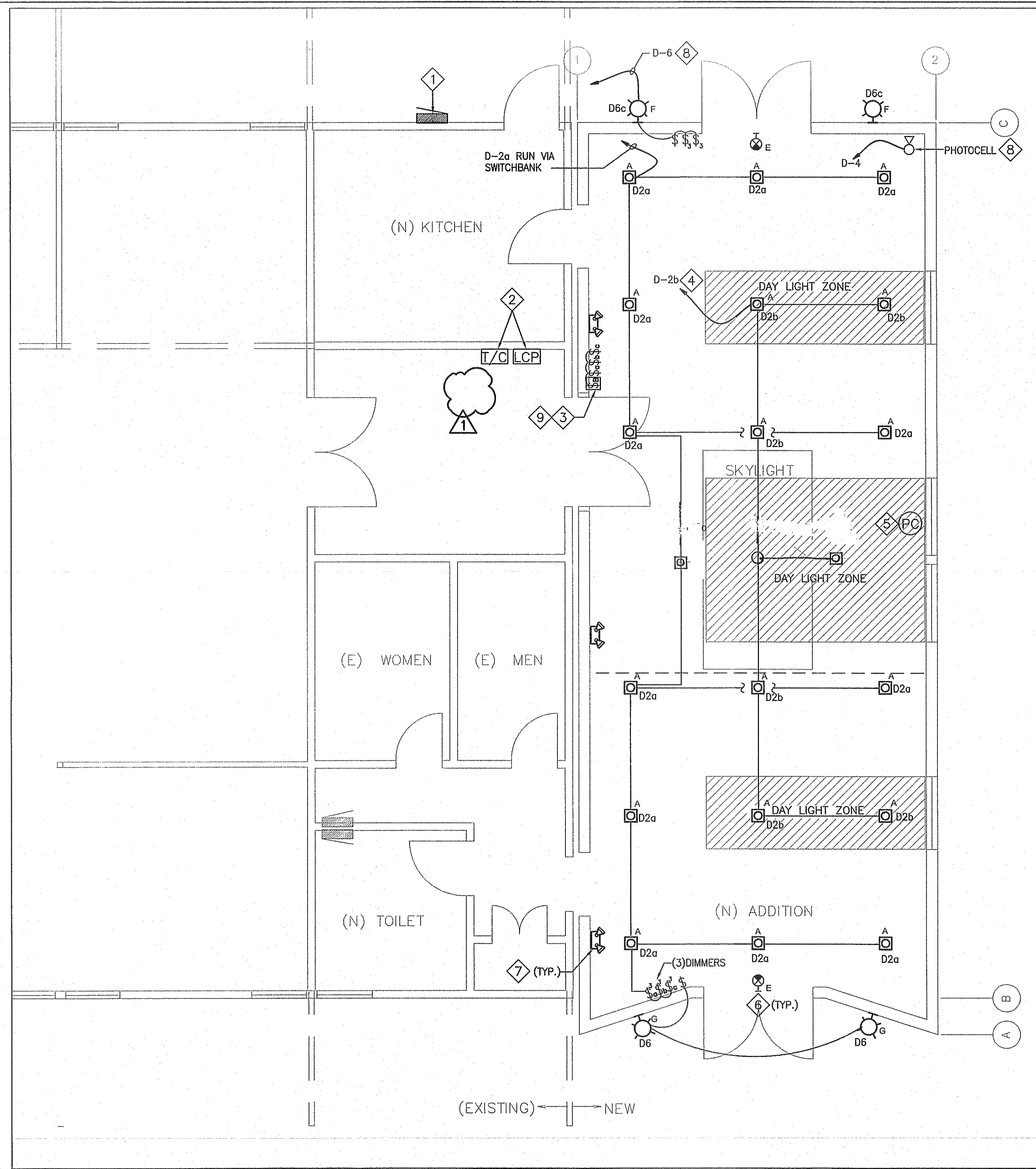
FLOOR PLAN -  
 POWER AND SIGNAL

**CONGREGATION B'NAI ISRAEL**  
 1575 ANNIE STREET, DALY CITY, CA 94015-1918, APN 006-343-150

DATE:	6/13/16
SCALE:	AS SHOWN
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JOB:	
SHEET	<b>E2.0</b>
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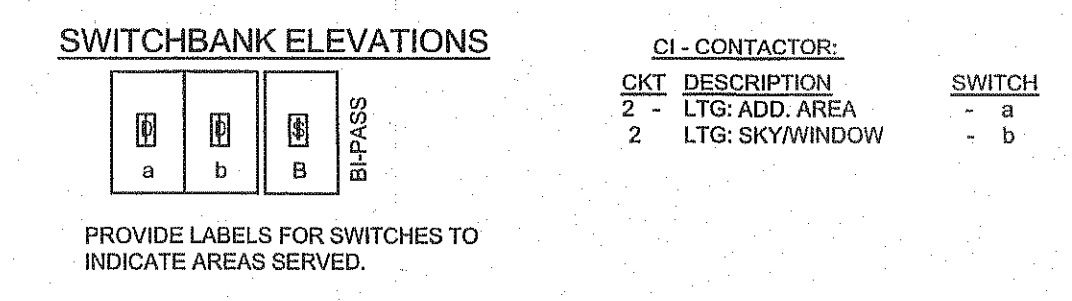
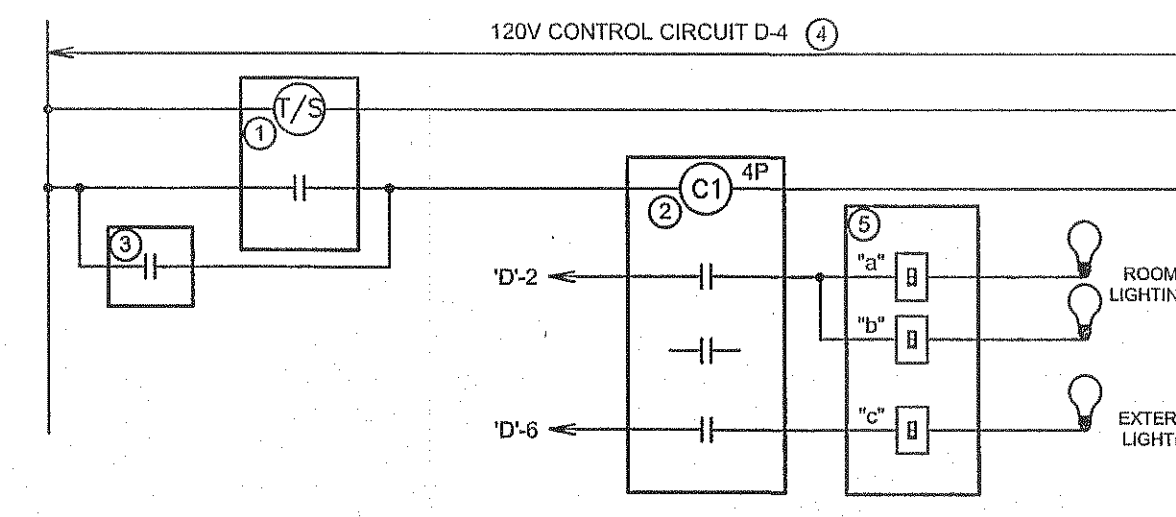


DATE:  
Aug 18, 2016



**1 FLOOR PLAN - POWER AND SIGNAL**  
 E2.1 SCALE: 1/4" = 1'-0"

LIGHT FIXTURE SCHEDULE					
SYMBOL	DESCRIPTION	MANUFACTURER / MODEL	LAMP	WATTS / VOLTS	REMARKS
	3" RECESSED LED DOWNLIGHT ADJUSTABLE 24W WITH INTEGRAL DRIVER	ECO-DOWNLIGHT LED EDL-ADJ SERIES	EDL-ADJ-40-4	40W / 24V	
	EXIT SIGN - WALL MOUNTED	MATCH TO EXISTING BUILDING EXIT SIGNS W/ BATTERY BACK-UP GREEN LETTERS / WHITE FINISH			COORDINATE IN FIELD
	EMERGENCY LIGHT FIXTURE - WALL MOUNTED	MATCH TO EXISTING BUILDING EMERGENCY LIGHT FIXTURES W/ BATTERY BACK-UP / WHITE FINISH			COORDINATE IN FIELD



- NOTE:**  
 DIMMERS (D) AND SWITCHES (S) TO BE LUTRON MAESTRO SERIES (WITH LED INDICATOR LIGHT) DIMMER SHALL MATCH LOAD SERVED, 600W (MAX).
- 1 ASTRONOMICAL, 7-DAY, 4-CHANNEL, DIGITAL TIME CLOCK WITH BATTERY BACK-UP. MODEL: TORQ #DZS400A OR EQUAL BY PARAGON OR INTERMATIC.
  - 2 SQUARE D CLASS 8893 L 20AMP, ELECTRICALLY HELD LIGHTING CONTACTOR WITH LOAD CONTACTS AS INDICATED ON CONTROL DIAGRAM U.O.N. OR EQUAL BY WESTINGHOUSE. CONTACTOR TO BE INSTALLED IN LIGHTING CONTROL CABINET.
  - 3 BYPASS TIMER SWITCH, MODEL: INTERMATIC EI220. PROVIDE LABEL. COORDINATE LOCATION WITH ARCHITECT.
  - 4 MOUNT ALL CONTACTORS IN NEMA 1 CABINET WITH LOCKABLE HINGED COVER DOOR. MOUNT TIME CLOCK ABOVE THE CABINET. USE EXISTING CONTROL CIRCUIT FROM EXISTING TIME CLOCK.
  - 5 CIRCUITS THROUGH THIS CONTACTOR TO BE SWITCH CONTROLLED. PROVIDE A SWITCHBANK AND LABELS FOR EACH SWITCH. SEE CONTROL ZONE SCHEDULE.
  - 6 EXISTING TO REMAIN TIME CLOCK FOR SIGN AND DISPLAY SHOW WINDOW LIGHTS. TIME CLOCK LOCATED IN EXISTING EXTERIOR ELECTRICAL SERVICE CABINET.

**3 LIGHTING CONTROL DIAGRAM**  
 E2.1 SCALE: NTS

**SHEET NOTES:**

- 1 APPROXIMATE LOCATION OF NEW PANEL "D". SEE SHEET E2.0 FOR LOCATION AND SHEET E0.1 FOR PANEL "D" SCHEDULE.
- 2 APPROXIMATE LOCATION OF TIME CLOCK AND LIGHTING CONTROL PANEL "LPC". COORDINATE FINAL LOCATION WITH ARCHITECT AND THE OWNER IN FIELD. SEE LIGHTING CONTROL DIAGRAM ON THIS SHEET.
- 3 APPROXIMATE LOCATION OF LIGHTING SWITCHBANK AND LIGHTING BY-PASS SWITCH. COORDINATE FINAL LOCATION WITH ARCHITECT AND THE OWNER IN FIELD.
- 4 RUN DAY LIGHT CIRCUIT VIA PHOTOCELL AND LOCAL MANUAL SWITCH.
- 5 PHOTOCELL TORQ OR APPROVED EQUAL. LOCATE NEAR THE WINDOW. COORDINATE PHOTOCELL LOCATION IN FIELD.
- 6 CONNECT EXIT SIGN FIXTURE TO EXISTING BUILDING EXIT SIGNS. COORDINATE IN FIELD.
- 7 PROVIDE EMERGENCY LIGHT FIXTURE TO MATCH EXISTING. CONNECT TO EXISTING BUILDING EXISTING BUILDING EMERGENCY LIGHT FIXTURES. COORDINATE IN FIELD.
- 8 RUN EXTERIOR LIGHT CIRCUIT VIA PHOTOCELL. LOCATE PHOTOCELL TORQ 2100 SERIES OR APPROVED EQUAL UP ON THE ROOF TO FACE NORTH SKY. SET UP PHOTOCELL PER LANDLORD REQUIREMENTS. COORDINATE EXACT PHOTOCELL LOCATION IN FIELD.
- 9 THE HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSERS, RECEPTACLES AND OTHER OPERABLE EQUIPMENT SHALL BE NOT MORE THAN 48" ABOVE THE FLOOR, AND WITHIN THE REACH RANGES SPECIFIED IN CBC 11B-308.
- 10 ALL ELECTRICAL CONDUCTOR MATERIAL SHALL BE COPPER. ALL OTHER MATERIAL REQUESTS SHALL BE APPROVED BY THE ADMINISTRATIVE AUTHORITY PRIOR TO INSTALLATION (DCMC 15.24.060).

REVISIONS	BY
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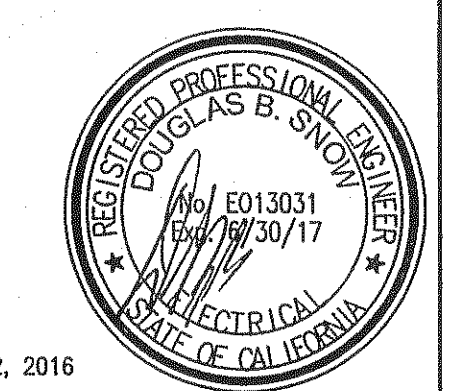
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LIGHTING PLAN

**CONGREGATION B'NAI ISRAEL**  
 1575 ANNIE STREET, DALY CITY, CA 94015-1918, APN 006-343-150

DATE: 6/13/16
SCALE: AS SHOWN
DRAWN:
JOB:
SHEET
<b>E2.1</b>
OF SHEETS



DATE: Aug 22, 2016

**LEGEND**

⊕	Switch, type to be specified
⊕ D	Switch, dimmer
⊕ L	Switch, lighted
⊕ M	Switch, motion detection
⊕ T	Switch, timer
⊕	Outlet
⊕	Outlet, half hot
⊕	Outlet 220V
⊕ EVC	Outlet, Electric Vehicle Charger
⊕	Telecommunication Outlet
⊕ TV	Television Cable Outlet
⊕ M	Motion Sensor with Photo Control
⊕	Light Fixture, ceiling surface mounted
⊕	Light Fixture, ceiling recessed mounted
⊕	Light Fixture, wall surface mounted
GFI	Ground Fault Circuit Interrupt
WP	Waterproof
LED	Light Emitting Diode
FL	Fluorescent
SD	Smoke Detector, 110V with battery backup
SD B	Smoke Detector, battery power source
CO	Carbon Monoxide Alarm, 110V
V	Exhaust Vent, vent to outside
VL	Exhaust Vent-Light Fixture combination, vent to outside
VLH	Exhaust Vent-Light Fixture-Heater combination, vent to outside
PB	Push Button
CH	Chimes
S	Speaker
T	Thermostat double setback
GD	Garbage Disposer
(E)	Existing
(N)	New

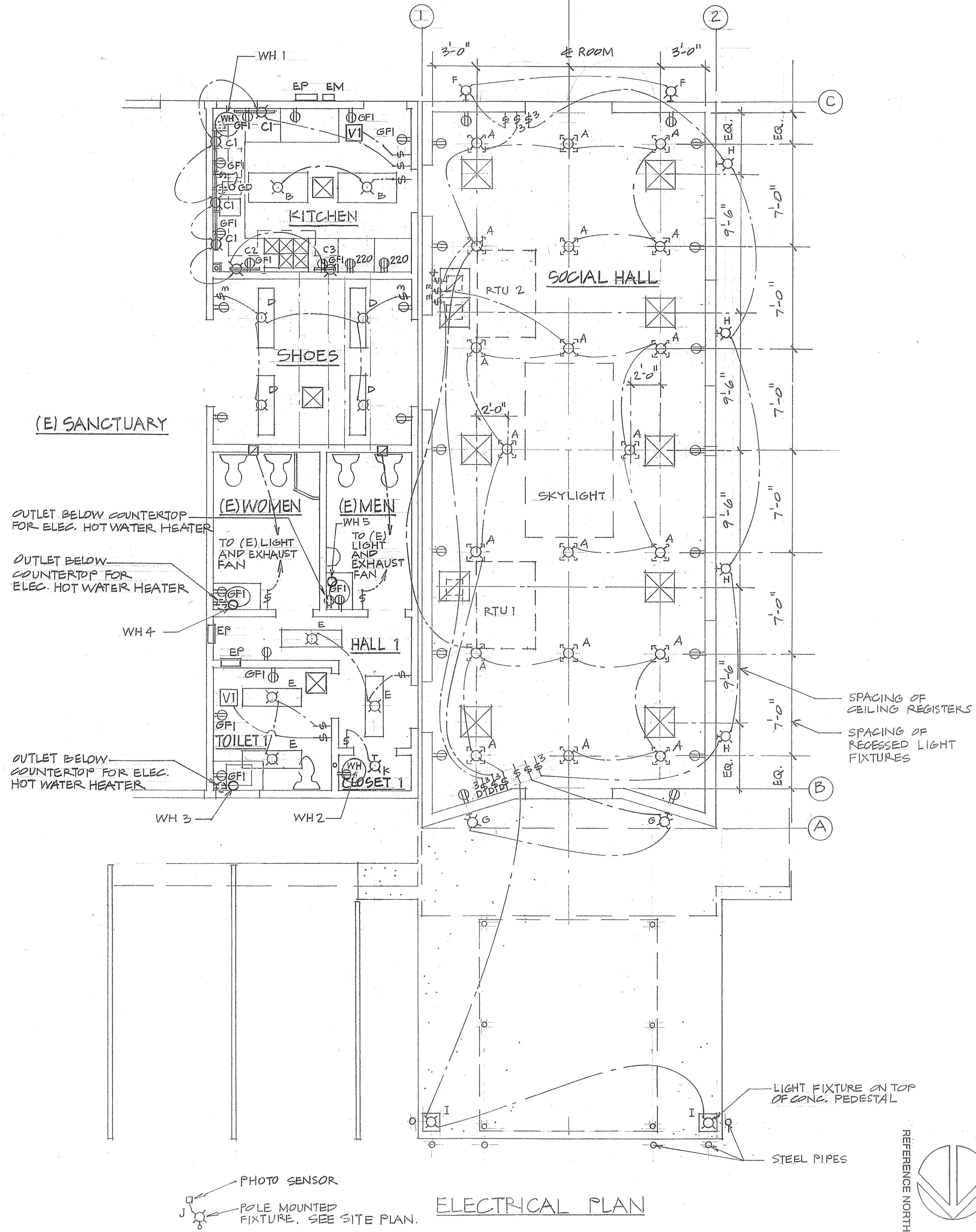
**NOTES:**

- Electrical receptacles in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms shall be arc-fault circuit interrupter (AFCI) receptacles.
- Light fixtures in bedrooms shall be arc-fault circuit interrupter (AFCI) protected.
- All 125 volt, 15 amp and 20 amp receptacle outlets shall be listed tamper resistant receptacles.
- Provide receptacle outlet for each kitchen counter space wider than 12 inches so that no point shall be more than 24 inches from an outlet.
- Provide 2 small appliance branch circuits for the Kitchen limited to supplying wall and counter space outlets only.
- Provide dedicated 20 amp circuit to serve the required bathroom receptacles. This circuit shall have no other outlets.
- Provide dedicated 30 amp circuit serving an electric clothes dryer appliance.
- Provide dedicated 20 amp circuit to supply laundry room appliance outlets.
- Electrical panel shall have main circuit breaker.
- Provide dedicated circuit for the furnace.
- Luminaires providing outdoor lighting shall be high efficacy luminaires, or are controlled by occupant sensors with integral photo control certified to comply with Sec. 119(d) California Energy Code.
- All recessed light fixtures in insulated ceilings shall be rated IC (insulated ceiling) and AT (air tight), with electronic ballasts.
- Fixtures not identified for contact with insulation shall have all recessed parts spaced 0.5 inch minimum clear from combustible materials and 3 inches clear from thermal insulation.
- Electrical panel shall be grounded or bonded to cold water pipe in addition to Ufer ground.
- Contractor shall coordinate with Architect and Owner for fixture selection.
- All carbon monoxide detectors shall be interconnected and hard wired.
- Approved numerals or addresses shall be provided for new buildings and positioned to be clearly visible and legible from the street fronting the property. Numerals or letters shall be 4 inches minimum high and 0.5 inch minimum stroke of a contrasting color to the background. Addressing shall be illuminated at night.

**ELECTRICAL FIXTURE SCHEDULE**

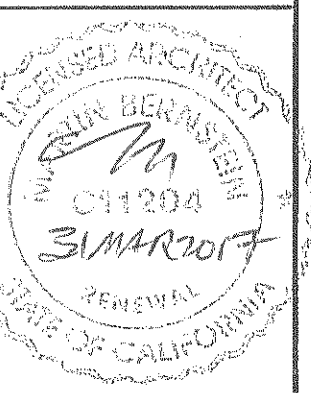
Notes: 1. Contractor to verify in field that specified recessed fixtures will properly fit into the depth of framing members and concrete walls and ceilings prior to ordering electrical fixtures.  
2. Interior switches, controls and outlets to be standard Leviton Decora white, with screws, and Maestro Lutron dimmers where a dimmer switch is shown.

ITEM	MANUFACTURER	DESCRIPTION	LAMP	QUANTITY
A	CSL Creative Systems Lighting	EDL-ADJ-30-4, recessed mounted, dimmable, DL-1306-4, 3-inch round adjustable rim, white trim, white reflector.	LED 24W, 3000K	20
	<b>Alternate:</b> LIGHTOLIER	Housing: L3A-E-120, recessed mounted. LED Optic: L308-90-30-F-CW Round Trim: L3R-D-W	LED, 3000K	20
B	FSC	5114-232, WHITE	Replace T8 lamps with SATCO, 1240, 3500K LED lamps	2
C1	DIODE LED	DI-120V-SABER-PD30-32-WH	LED	4
C2	DIODE LED	DI-120V-SABER-PD30-24-WH	LED	1
C3	DIODE LED	DI-120V-SABER-PD30-16-WH	LED	1
D	FSC	5114-232, WHITE	Replace T8 lamps with SATCO, 1240, 3500K LED lamps	4
E	FSC	5114-232, WHITE	Replace T8 lamps with SATCO, 1240, 3500K LED lamps	4
F	WAC	DS-W508F-30S-BZ, wet listing.	LED 54W 3000K	2
G	WAC	DS-W508F-30S-BZ, wet listing.	LED 54W 3000K	2
H	WAC	DS-W508F-30S-BZ, wet listing.	LED 54W 3000K	4
I	To be determined	Bollard-mounted fixture, wet listing.	LED 3000K	2
J	To be determined	Pole-mounted fixture, wet listing, with photo sensor, wet listing.	LED 3000K	1
K	WAC	WS-224-35-WT	LED 3500K	1
V1	PANASONIC	Exhaust fan Panasonic FV-15VQ5, 150 cfm. Vent with metal duct through roof with flashing kit and backdraft damper.		2
WH 1	RHEEM	Rheem Performance XE20P06PU20U0, 120 V, 20 GAL		1
WH 2	RHEEM	Rheem Performance XE20P06PU20U0, 120 V, 20 GAL		1
WH 3	WAI WELA	Wai Wela WM-1.0 Mini Tank Water Heater, 1.3 GAL		1
WH 4	WAI WELA	Wai Wela WM-1.0 Mini Tank Water Heater, 1.3 GAL		1
WH 5	WAI WELA	Wai Wela WM-1.0 Mini Tank Water Heater, 1.3 GAL		1



REVISIONS	BY

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**CONGREGATION B'NAI ISRAEL**  
 1575 ANNIE STREET, DALY CITY, CA 94015-1918, APN 006-343-150

Date	20 JUN 2016
Scale	1/4" = 1'-0"
Drawn	
Job	
Sheet	E2.2
Of	
Sheets	